



Executive Zoning Report

484 Commercial LLC

SW 21st Commerce Blvd.

Palm Ormond, Florida

Project #100F-001

Prepared For:

Armandis Omana & Mitchell, Attorneys

February 22, 2021

Prepared By:

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Executive Summary



Property Name & Address: 484 Commercial LLC
SW 21st Commerce Blvd.

Parcel ID#: 93404760127

Lot Size: 18.31 acres

Existing Use: Industrial Office Use

Jurisdiction: City of Palm Ormond, Fla.

Conformance Determination: Legal Conforming

Zoning District of Property: IND (I)

Current Use Permitted? : Yes, per Sec. 23(a) the Land Development Code.

Zoning Code Date: 2019

Year Built: 2009

Code Violations? None



Adjacent Property Zoning

North	Industrial
South	Industrial
East	Industrial
West	Industrial

Existing Land Use and Zoning

Date of Current Ordinance	Nov. 11, 2019
Current Zoning Designation	Industrial (I)
Current Land Use	Industrial FLUA
Is the current use in conformance?	Yes, per Sec. 23 of the LDC



Zoning Requirements

Setbacks	Required	Existing
Front	25 feet	106.5 feet
Side	25 feet	212' and 247'
Rear	35 feet	187.2 feet
Are Setbacks in Conformance?	Yes	
Height Requirements	Required	Existing
Maximum Height	35 feet	27.4 feet
Maximum Stories	3	1
Are Height Requirements in Conformance?	Yes	

Lot Size	Required	Existing
Lot Area	1 acre	18.31 acres
Lot Width at Building Line	25 feet	378.8 feet
Lot Width at Right of Way	25 feet	378.8 feet
Is the Lot Area in Conformance?	Yes	



Zoning Requirements

Lot Density Coverage	Required	Existing
Floor Area Ratio (FAR)	none required	n/a
Max. Dwelling Units/Acre	n/a	n/a
Lot Coverage/Buildings	maximum 60%	27%
Lot Coverage/Impervious	none required	n/a
Is Lot Density in Conformance?	Yes	

Parking	Required	Existing
Parking Spaces	97	129
Parking Formula	1 space per 1000 sf of storage plus office	
Is Parking in Conformance?	Yes	



Additional Property Information

Special Permits	None
Outstanding Code Violations	None
Site Plan Approval	Sept. 2, 2008 by City Planning Board
Condemnation Actions	None Cited
Certificate of Occupancy	Issued by City Bldg. Official in 2009.
Right to Rebuild Provision	Yes. Sec 243 Nonconforming provision applies. See attachment
Government Official	Mr. James L. Doe Zoning Administrator



The professional conclusions and findings in this Executive Zoning Report were obtained and assembled from numerous sources, including but not limited to, City, County, Township & other jurisdiction zoning codes; comprehensive plans & land development regulations; governmental websites and portals; property assessor's records and websites; joint planning agreements; development orders, permits and related documentation; property land surveys; plats; planning, zoning and building records and information; code enforcement records and information; GIS information, layers and records; aerial and other maps; site plans; city and county attorney information and records; and interviews with governmental agency staff. The independent conclusions contained in the Executive Zoning Report is representative of ZoningTech, LLC's professional opinion and judgement and is based on the data, information and sources available to ZoningTech, LLC during the research and preparation of this Executive Zoning Report.

ZoningTech, LLC



Zoning Verification Letter



Zoning Verification Letter

Please fill out the information below and submit completed forms to the Planning Dept. Letters take approximately 5 business days to complete. If you have any questions, please call (386) 626-7004.

Name of Applicant: _____

Company (if applicable): _____

Mailing Address: _____

Phone Number(s): _____

Fax Number/Email Address: _____

(if you would like a copy of the letter faxed or emailed to you.)

Check one:

- Please mail letter to the above (applicant's) address.
- Please mail letter to owner.
- Call for pickup.
- Other (write instructions in comment section below).

Street address of the subject property: _____

Tax Parcel ID# (12 or 14 digit number): _____

SAM



Lot Configuration

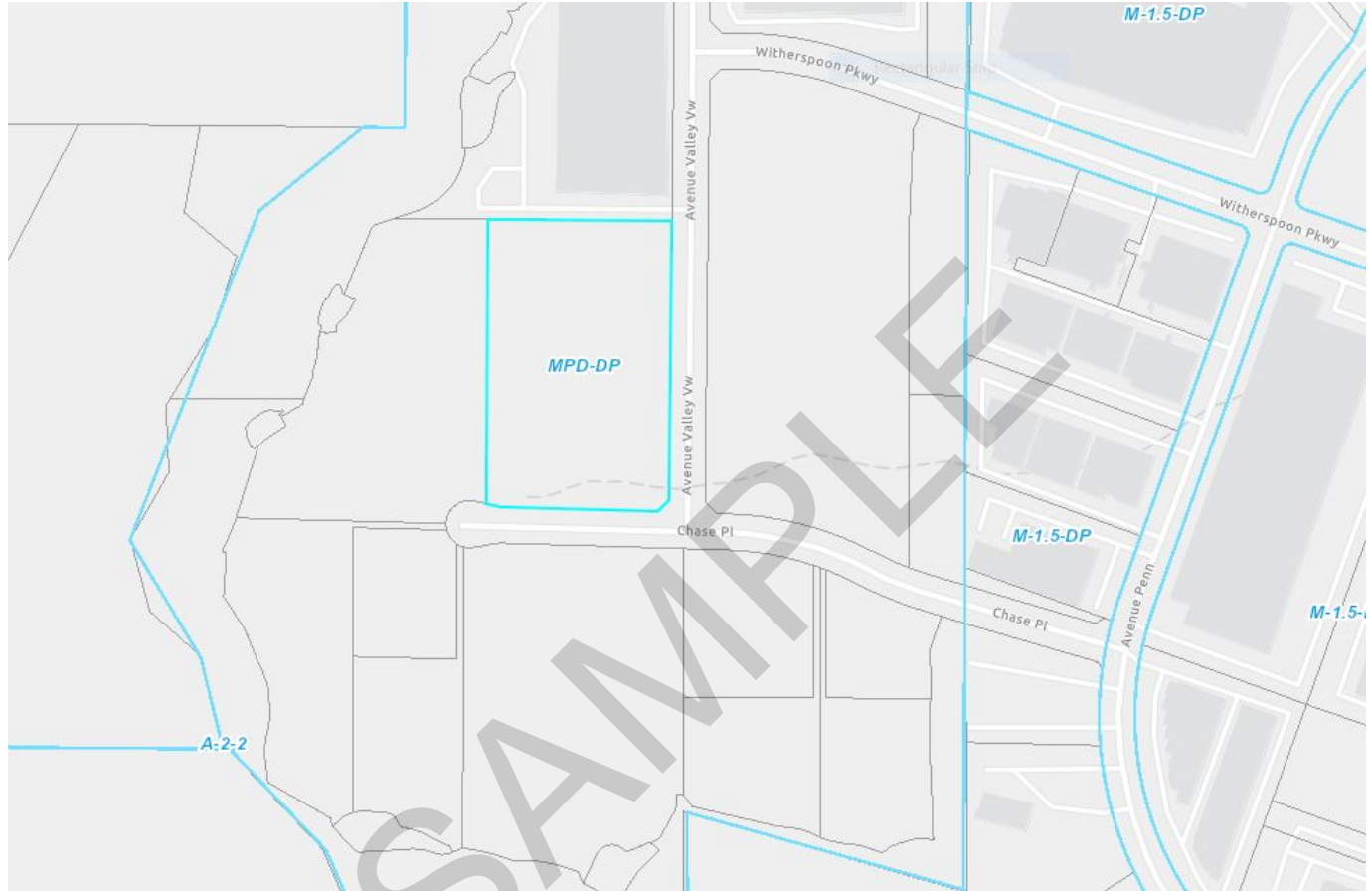


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Information obtained from the Survey provided by the Client.



Zoning Map & Legend





Outstanding Code Violations

SAMPLE

None



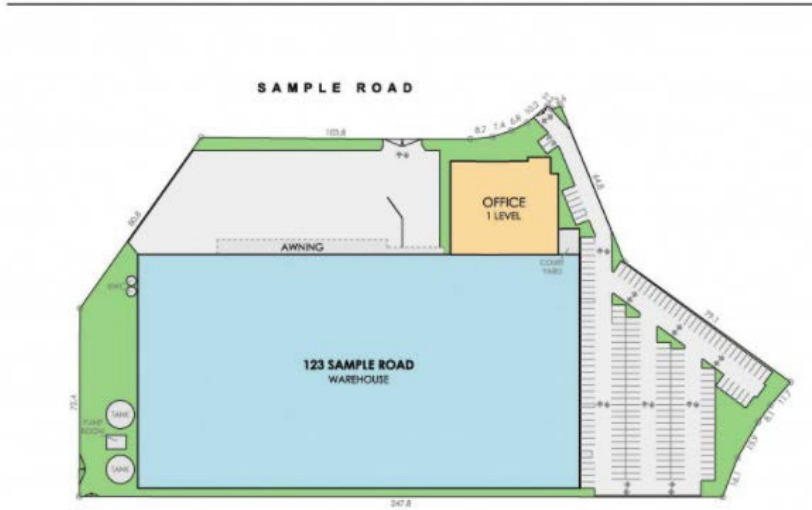
Certificate of Occupancy

Certificate of Occupancy Office of the Building Official	
Property Address:	Stipulations, Conditions, Variances:
Approved As: Pre-Existing Condition (No Change) New Structure Alteration Change of Occupancy Temporary Occupancy	
Use Groups:	Occupancy Description:
Primary:	
Accessory:	
Accessory:	
Mixed Uses:	
Attached Floor Plan dated _____ indicates how areas are approved and design occupancy loads.	
Construction Type:	This Certificate represents an approval that is valid only when the building and its facilities are used as stated and is conditional upon all building systems being maintained and tested in accordance with the applicable _____ Board of Building Standards rules and applicable equipment or system schedules. This certifies conformance with Chapter 3761, and 3791, of the Revised Code and the applicable provisions of the rules of the _____ Board of Building Standards.
Fire Sprinkler Systems:	
N/A <input type="checkbox"/> Required <input type="checkbox"/> Non-Required <input type="checkbox"/>	Plan Approval Application # _____ Approved pursuant to the following editions of: _____ OBC _____ OMC _____ OPC
System Type: _____ Location: _____	
Hazard Classification:	This approval is limited to the following portion of the building: _____ Date: _____ The balance of the building is approved pursuant to the following stated C of Os: _____ Building Official: _____
Storage Height: _____	
Aisle Width: _____	
Sprinkler System Demand @ base of riser: _____	
Standpipe System Demand @ base of riser: _____	

SAMPLE



Site Plan and Permits



SAM



Zoning Code

TABLE OF ZONING DISTRICT REGULATIONS

ZONING DISTRICT	MINIMUM LOT SIZE	WIDTH AT BUILDING LINE	MINIMUM HOUSE SIZE	SETBACKS				INFORMATIONAL NOTE: This table is subject to amendment from time to time. Please contact the Planning and Development Division Office at 407-665-7371 for further information.	
				F	Side St*	S	R		
Agriculture	A-1	1 acre	150 ft.	N/A	50	50	10	30	STRUCTURES ACCESSORY TO THE RESIDENCE: 10 ft. rear setback, side setback equal to requirement for main residence, 50 ft. minimum front yard setback and shall not project beyond the front residence unless a min. 100 ft. setback can be maintained. Accessory dwelling units limited to 35% of the gross floor area of the main residence. BARNS & STRUCTURES FOR LIVESTOCK: STRUCTURES FOR AGRICULTURAL USE: 50 ft. front, side and rear setback, 100 ft. from any residential structure on an adjacent lot or parcel.
Rural Zoning Classification/Rural Subdivision Standards	A-3	3 acres	150 ft.	N/A	50	50	10	30	
	A-5	5 acres	150 ft.	N/A	50	50	10	30	
	A-10	10 acres	150 ft.	N/A	50	50	10	30	
Country Homes	RC-1	1 acre	120 ft.	1200 sq. ft.	35	35	20	35	DETACHED ACCESSORY BUILDING SETBACKS (not including RC-1 zoning): Accessory buildings exceeding 200 sq. ft. in size and/or 12 feet in height shall meet all of the district setbacks and other requirements applicable to the main residential structure located on the same parcel. Accessory structures under 200 sq. ft. in size and under 12 feet in height shall maintain the same side yard district requirement applicable to the main residence and a minimum 10 ft. rear yard setback. See General Requirements below for side street setbacks applicable to corner lots. RC-1 accessory setbacks to maintain 20 ft. side and rear setbacks unless abutting one or more streets. POOLS AND POOL SCREEN ENCLOSURES: A pool shall maintain a minimum 10 ft. side and rear yard setback and a pool screen enclosure shall maintain the same side yard district requirement applicable to the main residence and a minimum 5 ft. rear yard setback except when abutting a natural water body. When abutting a natural water body a pool shall maintain 30 ft. and a pool screen enclosure shall maintain a 25 ft. setback from the mean high water line. GENERAL REQUIREMENTS: Accessory structures shall not project beyond the established front building line of the main residence. Corner lots are considered to have two front yards. See Land Development Code for accessory building setbacks for structures to house horses, livestock or fowl.
Single-Family Dwelling	R-1BB	5,000 sq. ft.	50 ft.	700 sq. ft.	20	20	5	20	Where buffers required under Chapter 30 Part 67 exceed the setback requirements stated herein, setbacks shall equal the width of the buffers. In the R-4 District, increase the setback by 10 ft. for each story over one. See the Code for the buffer and setback requirements around the perimeter of the RM-1 or RM-2 Zoned property. Minimum development size in RM-2 is 10 acres. No setbacks for the individual spaces. A 25 ft. setback is required around the perimeter of the entire park. See Land Development Code for details.
	R-1B	8,700 sq. ft.	60 ft.	700 sq. ft.	20	20	7.5	25	
	R-1	8,400 sq. ft.	70 ft.	700 sq. ft.	25	25(15')	7.5	30	
	R-1A	9,000 sq. ft.	75 ft.	1100 sq. ft.	25	25(15')	7.5	30	
	R-1AA	11,700 sq. ft.	80 ft.	1300 sq. ft.	25	25	10	30	
One and Two-Family Dwelling (Duplex lot may be platted to facilitate separate ownership; min. lot size shall be 4,500 sq. ft. and 37.5 min. width at building line.)	R-1AAA	13,500 sq. ft.	100 ft.	1600 sq. ft.	25	25	10	30	Where buffers required under Chapter 30 Part 67 exceed the setback requirements stated herein, setbacks shall equal the width of the buffers. In the R-4 District, increase the setback by 10 ft. for each story over one. See the Code for the buffer and setback requirements around the perimeter of the RM-1 or RM-2 Zoned property. Minimum development size in RM-2 is 10 acres. No setbacks for the individual spaces. A 25 ft. setback is required around the perimeter of the entire park. See Land Development Code for details.
	R-1AAAA	21,780 sq. ft.	100 ft.	1600 sq. ft.	25	25	10	30	
	R-2	9,000 sq. ft. for single or duplex dwelling unit.	75 ft.	1400 sq. ft. for Duplex, and 700 sq. ft. single-family	25	25	10	30	
Multiple-Family Dwelling	R-3	Max. Density 13 du/acre with BCC approval			1-Story Building: 25' F, S & R 2-3 Story Building: 35' F, S & R				Where buffers required under Chapter 30 Part 67 exceed the setback requirements stated herein, setbacks shall equal the width of the buffers. In the R-4 District, increase the setback by 10 ft. for each story over one. See the Code for the buffer and setback requirements around the perimeter of the RM-1 or RM-2 Zoned property. Minimum development size in RM-2 is 10 acres. No setbacks for the individual spaces. A 25 ft. setback is required around the perimeter of the entire park. See Land Development Code for details.
	R-3A	Max. Density 10 du/acre with BCC approval			1-Story Building: 25' F, S & R 2-3 Story Building: 35' F, S & R				
	R-4	Max. density varies with BCC approval			25	25	25	25	
	RM-1	7,000 sq. ft., 70 ft.	N/A		20	20	10	20	
Single-Family Mobile Home	RM-2	5,000 sq. ft., 50 ft.	N/A		20	20	10	15	See the Code for the buffer and setback requirements around the perimeter of the RM-1 or RM-2 Zoned property. Minimum development size in RM-2 is 10 acres. No setbacks for the individual spaces. A 25 ft. setback is required around the perimeter of the entire park. See Land Development Code for details.
Single-Family Mobile Home Park	RM-3	See Land Development Code	N/A		20	20	10	15	
Travel Trailer Park & Campsites	RM-3	See Land Development Code	N/A		20	20	10	15	See the Code for the buffer and setback requirements around the perimeter of the RM-1 or RM-2 Zoned property. Minimum development size in RM-2 is 10 acres. No setbacks for the individual spaces. A 25 ft. setback is required around the perimeter of the entire park. See Land Development Code for details.
Planned Development	PD	Master Development Plan Required			Determined by Master Development Plan				
Public Lands and Institutions	PLI				25	25	25	25	See Chapter 30, Part 67 for development criteria.
Residential Professional	RP	See Chapter 30, Part 34 for minimum requirements			25	25	10	30	Development of vacant property for office use shall comply with the requirements of the OP, Office Professional Zoning District. Where buffers required under Chapter 30 Part 67 exceed the setback requirements stated herein, setbacks shall equal the width of the buffers.
Office	OP	15,000 sq. ft., 100 ft.	N/A		25	25	0	10	Where buffers required under Chapter 30 Part 67 exceed the setback requirements stated herein, setbacks shall equal the width of the buffers.
	C-1		N/A		25	25	0	10	
Retail Commercial	C-2		N/A		25	25	0	10	Where buffers required under Chapter 30 Part 67 exceed the setback requirements stated herein, setbacks shall equal the width of the buffers.
General Commercial & Wholesale	C-3		N/A		25	25	0	10	
Convenience Commercial	CS		N/A		50	50	0	10	NOTE: In the M-1A, M-1 and M-2 zoning districts, the front yard setback for lots internal to an industrial park may be 25 ft. minimum.
Restricted Neighborhood Commercial	CN		N/A		50	50	0	10	
Very Light Industrial	M-1A		N/A		50	50	10	10	NOTE: In the M-1A, M-1 and M-2 zoning districts, the front yard setback for lots internal to an industrial park may be 25 ft. minimum.
Industrial	M-1		N/A		50	50	10	10	
Impact-General Industrial	M-2		N/A		50	50	10	10	See Chapter 30, Part 30 for all building requirements. See the Land Development Code (LDC) for detailed setback requirements.
University Community	UC		N/A		25	25	25	25	
Affordable Housing Dwelling Subdivision Standards	R-AH	SF-3600 sq. ft. 40 ft. Duplex-7,200 sq. ft. 80 ft.	700 sq. ft. for each unit.		10	10	10	10	LDC

*Side street setbacks shall be the same as the front yard setbacks unless otherwise noted. **Side street setback for the main residence may be reduced to 15 feet with approval by the Seminole County Traffic Engineer.
NOTE: If a parcel or lot is located within an Overlay District such as the Lake Mary Corridor, SR-46 Corridor, Markham Rd., Longwood Markham Rd., Lake Markham Rd. Corridor or Scenic Corridor District, the setback requirements may be more restrictive.
MEASUREMENT OF SINGLE-FAMILY AND DUPLEX DWELLING SETBACKS: Front and Side Yard measured perpendicular to the property line to the first vertical plane which intersects any portion of the structure other than a minimal roof overhang.
An open, unroofed porch or paved terrace may project into a required front yard for a distance not to exceed 10 feet. For double frontage through lots, see the Land Development Code for the rear yard setback. Rear Yard: measured parallel with the side of the dwelling unit such that wherever the line strikes the closest property line shall be the point at which the rear yard setback is measured. Whenever a lot abuts an alley, one-half of the alley width may be considered as a portion of the required rear yard.
Water front Yard: a waterfront yard is a yard required on waterfront property with depth measured from mean-high-water line. Irregularly Shaped Lots: the lot width for irregularly shaped lots, such as at the end of a cul-de-sac, may be reduced to 75% of the District requirement, providing all required building setbacks are met. Fences: Closed fences or walls in excess of 3 ft. in height shall maintain the same front or side street setback district requirement applicable to the main dwelling structure.